

ORDINANCE NO.2009-04

THE MAYOR AND TOWN COUNCIL OF BOONSBORO

**AN ORDINANCE TO AMEND THE SUBDIVISION ORDINANCE
FOR ADOPTION OF
SITE PLAN, LANDSCAPING, AND STREET LIGHT REQUIREMENTS**

WHEREAS, the Mayor and Council is the governing body in and for the Town of Boonsboro, a municipal corporation of the State of Maryland; and

WHEREAS, a Land Subdivision Ordinance was adopted by The Mayor and Council of Boonsboro on the 7th day of July, 1975, to establish regulation governing the subdivision of land within the Town of Boonsboro and providing for the administration and enforcement thereof, and

WHEREAS, the Town desires to protect, maintain, and enhance the public safety and general welfare by establishing requirements and procedures for site plan, landscaping, and street light requirements for submission and review by the Boonsboro Planning Commission, and

WHEREAS, The Mayor and Council of Boonsboro held a duly advertised public hearing with respect to this amendment to the Land Subdivision Ordinance;

NOW, THEREFORE, BE IT ENACTED AND ORDAINED by the Mayor and Council of Boonsboro the following additions to the Land Subdivision Ordinance:

240 DESTINATION RETAIL USE - Any development containing one (1) or more retail unit occupying more than seventy-five-thousand (75,000) square feet of gross floor area, including outdoor seasonal display areas.

605 SITE PLAN

605.1. SITE PLAN REVIEW GUIDELINES. The following principles shall guide the exercise of site planning review by the Planning Commission:

- (a) The natural topographic and landscape features of the site shall be incorporated into the plan and the development.
- (b) Buildings and open spaces should be in proportion and in scale with existing structures and spaces in the area within 300 feet of the development site.
- (c) A site that has an appearance of being congested, over built or cluttered can evolve into a blighting influence and therefore should be avoided.
- (d) Open spaces should be linked together by walkways or planting areas.

- (e) Natural separation should be preserved on the site by careful planning of the streets and clustering of buildings using natural features and open spaces for separation. Existing vegetation removal should be kept to a minimum.
- (f) Screening of intensive uses should be provided by utilizing landscaping, fences or walls to enclose internal areas.
- (g) Buildings should be sited in an orderly, non-random fashion. Long, unbroken building facades should be avoided.
- (h) Path and sidewalk street crossings should be located where there is a good sight distance along the road, preferably away from sharp bends or sudden changes in grade.
- (i) Parking lots and garages should be located in such a way as to provide safe, convenient ingress and egress. Whenever possible there should be a sharing or curb cuts of more than one facility. Parking areas shall be screened and landscaped and traffic islands shall be provided to protect circulating vehicles and to break up the monotony of continuously paved areas.
- (j) Establishments with drive-up windows or designed for drive through service shall be located to allow enough automobile waiting space for peak hour operation without interference with ingress or egress or other parking lot circulations.
- (k) Adequate landscaping shall be provided throughout the site to create an attractive development, to reduce the amount of impervious surface created and to prevent large expanses of uninterrupted pavement areas.
- (l) Signage shall be kept to the minimum amount required and so located as to create an attractive development.
- (m) Adequate and unrestricted access is provided for fire and emergency vehicles.
- (n) Plans shall be consistent with adopted plans, ordinances and regulations of the Town of Boonsboro.

605.2. SITE PLAN INFORMATION REQUIREMENTS. The site plan format and informational requirements for applications two thousand five hundred (2,500) square feet or greater are as follows;

- a. Vicinity map showing relationship to surroundings, including existing, proposed, or mapped streets within one thousand (1,000) feet and municipal boundaries within one thousand (1,000) feet of the tract.
- b. Each sheet numbered and the relationship shown to total number of sheets.
- c. Dimensions in feet and decimal parts.
- d. North arrow.
- e. Boundary survey or survey of record of the property showing courses, distances and area. Property boundary lines shown as
" _____ ".
- f. Detailed plans shall be drawn at a scale of one (1) inch equals twenty (20) feet. Site plans greater than three (3) acres shall be drawn at a scale of one (1) inch equals fifty (50) feet or one (1) inch equals one hundred (100) feet and may be

of one (1) or as many sheets as necessary.

- g. Conditions of concern, for example, water courses, marshes, wooded areas, floodplains, rock outcrops or other environmentally sensitive features.
- h. Existing contours with intervals not more than five (5) feet where the slope is ten (10%) per cent or greater and not more than two (2) feet where the slope is less than ten (10%) per cent. Elevations based on United States Geological Survey or equivalent adjusted datum. (Source of contour data referenced on site plan; include a benchmark with elevation and location on the plan.)
- i. Location, width and names of existing platted streets or other public streets, railroad and utility rights of way, parks, open space areas and municipal corporation lines within or adjoining the tract.
- j. Proposed public improvements, highways or other major improvements planned on or near the site.
- k. Rights of way for all drainage purposes and utilities.
- l. All existing or proposed utilities, including location, grade and size of:
 - (1) Storm drain (including invert elevations and profiles)
 - (2) Sewerage facilities (including invert elevations and profiles)
 - (3) Catch basins
 - (4) Drainage ways, channels
 - (5) Pumping stations
 - (6) Water mains
 - (7) Street lights
 - (8) Electric and telephone poles
 - (9) Overhead/underground electric, telephone and/or cable television lines
 - (10) Fire hydrants
 - (11) Include direction of, distance to and size of nearest water mains and sewers if not located on or adjacent to the site.
- m. Conditions on adjoining lands; direction and gradient of ground slope, embankments, retaining walls, railroads and towers or other influences when identified by the applicant or Planning Staff to be of concern.
- n. Locations of all existing or proposed buildings, structures, parking facilities and other improvements including dimensions, floor area, and use. Include a scale dimension from the property line to the proposed building. Delineate exterior lighting, fencing, all pedestrian walkways and sidewalks, walls, fences, and buffer yards.
- o. Location and dimension of all curb cuts, driving lanes, off-street parking and loading areas including the number of spaces, angles of stalls, grades, surfacing materials, drainage plans, and illumination of facilities. All parking facilities shall be designed in accordance with this Ordinance.

- p. If alteration made to an existing building, structures, or other improvements, dotted lines to show features or locations to be abandoned and solid lines to show proposed features.
- q. Building setback lines.
- r. The proposed traffic circulation pattern within the area of the development, including the location and description of public improvements to be installed, including any streets and access easements.
- s. The location of all fire hydrants on the property and the location of all fire hydrants within 150 feet of the property.
- t. The location and dimensions of all accesses for fire and emergency vehicles.
- u. The location and intensity of safety and security lighting.
- v. Signature and seal of registered land surveyor, registered professional engineer, registered architect, registered landscape architect or professional planner (AICP), responsible for the accuracy of the site plan.
- w. Drainage calculations and certification (signed and dated by the engineer) regarding drainage.
- x. Legend which clearly indicates existing and proposed improvements and natural features. The legend or title block must include the following information:
 - (1) Zoning district
 - (2) Tax map number
 - (3) Election district
 - (4) Developer's name and address
 - (5) Owner's name and address
 - (6) Scale
 - (7) Date of drawing; date and type of revisions
 - (8) Utility symbols
 - (9) Name of project
- y. Notes which identify:
 - (1) Board of Zoning Appeals' case number/approval date and any variances/special exceptions approved.
 - (2) Projected building schedule - projected start and finish dates.
 - (3) Number of parking spaces - existing, proposed and required
 - (4) Number of residential units, broken down by unit types (single family, duplex, townhouse, apartments)
 - (5) Density: Number of Dwelling Units or Gross Square Footage per acre
 - (6) Total impervious surface of the site
- z. Location of refuse collection that conforms to the following standards:
 - i. A minimum 8-foot high solid screen shall enclose the concrete pad and container area to avoid undesirable sight lines from both

the public right-of-way or from adjoining properties. The screening shall mitigate the negative visual impacts of the refuse and recycling dumpster and facility. The screening shall be constructed of materials similar to those materials used on the principal building(s) within the development. The use of chain link fence as a screening material is prohibited.

- ii. If the proposed location of the container is located within a yard area abutting any property zoned for residential uses or property utilized as residential but containing a nonresidential zoning classification, then the applicant shall plant sufficient vegetation around the perimeter of the screen fence
- aa. Landscaping plan and legend. - A landscaping plan shall be included as part of a site plan and the improvements thereon shall be in accordance with Section 606 of this Ordinance.
- bb. If a residential development, include homeowners' association documentation when common open space and buffer areas are provided.
- cc. Certificates and statements.
- dd. Sedimentation and erosion control plan.
- ee. The developer or engineer shall furnish Town with "As Built" drawings at the completion of the project in accordance with Section 806 of the Ordinance.

719 LANDSCAPING REQUIREMENTS

- a. **Intent.** The applicant shall submit as part of the site plan, a comprehensive landscape master plan, identifying the location and size of both existing vegetation to be retained and proposed new vegetation, typical planting materials, the phasing of landscape installation, and planting methods.

These regulations are established to protect and enhance the landscape of the Town of Boonsboro and to ensure the appropriate use of plant material in new construction. It is the intent of these regulations to preserve natural tree cover where practicable and to include new landscape plantings with development in order to:

- (1) reinforce community identity
- (2) enhance scenic views
- (3) increase building and property values
- (4) reduce stormwater runoff and prevent soil erosion
- (5) create shade and reduce radiant heat
- (6) provide a visual buffer and separation of space,
- (7) reduce noise and shield glare, and
- (8) enhance the beautification of the Town.

- b. **Applicability.** These standards shall apply to any development or redevelopment proposals requiring approval by the Planning Commission. Improvements associated with single family residences and minor subdivisions are exempt.
- c. **Preservation of Existing Vegetation.** Trees and other public landscaping shall be protected by means of suitable temporary barriers during construction. The Planning Commission, upon reviewing a site plan, shall have the authority to require existing landscaping and screening which meet the minimum standards of this Ordinance to be preserved. In locations where healthy and mature shade trees currently exist, the requirements for new trees may be waived or modified, after review by the appropriate agencies, and approval by the Planning Commission. Where practicable and feasible, developers are encouraged to leave existing trees.
- d. **Reforestation and Afforestation.** Landscaping requirements, may at the review of the Planning Commission, be counted towards reforestation or afforestation requirements of the forest conservation program.

Landscaping used to fulfill forest conservation requirements shall be included in the required construction and post construction protection and management agreements. Areas shall be protected by binding, long-term protective agreements under the same terms that apply to other reforestation or afforestation areas.

- e. **Modification of Landscape Standards.** Alternative plans may be approved when unusual topographic constraints, sight restrictions, siting requirements, preservation of existing stands of trees, preservation of specimen trees or when similar conditions prevent strict compliance with the landscape standards. Modifications to the tree cover, site landscaping and parking lot landscaping standards contained in this section may be approved when the following conditions are met to the satisfaction of the Planning Commission:
 - (1) The landscape plan meets the stated intent of this section.
 - (2) The landscape plan provides plantings of similar character, density and screening impact to those required by the standards contained in this section.
 - (3) Topography, soil, vegetation or other unique site conditions make full compliance impossible or impractical and warrant some relief from the strict adherence to the standards contained in this section.
 - (4) Space limitations, unusually shaped lots, and existing conditions on adjacent properties may justify alternative compliance for infill sites, and for improvements or redevelopment of sites, particularly in the older, established sections of the Town.
- f. **Performance Criteria.**
 - (1) The Planning Department shall require, as a condition of site plan approval, a guarantee of installation of landscaping and screening as required by this Ordinance.

- (2) In order for any landscaping to fulfill the purpose for which it was established, it must be properly maintained. The owner of the property where the landscaping is required will be responsible for the maintenance of all required landscaping materials. Maintenance includes actions necessary to keep screening materials healthy, neat and orderly in appearance and free of litter and debris. All landscaped areas must be protected from damage by motor vehicles or pedestrians, which could reduce the effectiveness of the landscaping. The Planning Department shall require the replacement of trees or the repair of buffers within six (6) months if such trees or buffers die or are destroyed.
- (3) It is also recognized that land development occurs continuously and that vegetation used in landscaping or screening should be planted at certain times of the year to ensure the best chance of survival. In order to ensure compliance with this Ordinance and reduce the potential expense of replacing landscaping or screening materials that were installed in an untimely or improper fashion, the developer may provide an adequately secured performance bond, cash bond, surety bond, or letter of credit or other security equal to one hundred (100%) percent of the cost of materials and installation. All required landscaping and screening shall be installed within six (6) months after the issuance of an occupancy certificate. Release of surety or bond will not be granted until six months after all landscaping shown on the approved site plan has been completed. A qualified professional, as listed in Section 605.2.v of this Ordinance, must submit written certification to the Planning Department that healthy plant materials were properly installed in accordance with the approved landscape plan.

g. Redevelopment. Landscape plans for redevelopment shall be consistent with the requirements of this section. The existing site shall be considered to be either the disturbed area of the new construction as shown on the proposed site plan, the area contained within a newly created subdivision related to the redevelopment, or the original parcel.

h. Parking Landscape Standards.

- (1) All surface parking facilities, greater than seven (7) spaces, shall be landscaped to the minimum requirements as outlined. Trees shall be planted by the developer as part of the Conditions of Approval, for aesthetic reasons and for summer cooling.
 - (a) At least one (1) canopy (shade) tree or two (2) understory trees for every eight (8) parking spaces or fraction thereof, located in internal planting islands at least eight (8) feet in width, shall be provided.
 - (b) A maximum of fifteen (15) consecutive and contiguous parking spaces in a row shall be allowed without being separated by a landscaped island. For employee parking spaces in the GC zoning district, no more than twenty-five (25) parking spaces shall be permitted in a continuous row without being interrupted by a landscaped island. Each row of parking spaces shall begin and end with a landscaped island.

- (c) In addition, every fourth row of parking spaces shall be separated by a median strip at least eight (8) feet in width for landscaping, pedestrian purposes, or combination of both. One (1) large canopy (shade) tree or two (2) understory trees shall be required every forty-five (45) feet at a minimum in this median strip. If a large canopy (shade) tree is planted in a landscaped island abutting a required buffer, such trees will be counted towards the buffer requirements.
- (2) A perimeter roadside buffer yard abutting a parking lot (between the street and parking lot) shall be required and shall be a minimum of ten (10) feet in width from the public right-of-way. In addition, all parking lots shall include a minimum ten- (10-) foot perpetually maintained natural or planted buffer yard along all adjoining property lines.
 - (a) The required buffer yard shall contain at least one (1) canopy (shade) tree or two (2) understory trees for each forty (40) feet of linear road frontage. Street trees shall be credited against buffering requirements as appropriate.
 - (b) The required roadside buffer yard shall also contain evergreen shrubs, planted four (4) feet on center.
 - (c) All portions of the roadside buffer yard not planted with trees or shrubs or covered by a wall or other barrier shall be planted with grass, and/or flower beds. Landscaping and screening materials shall not obstruct the view of motorists using any road, driveway, or parking aisle.
- (3) Parking facilities abutting a structure, unless located on or within a structure, shall be separated from the exterior wall of a structure, exclusive of paved pedestrian walks or vehicular loading areas, by a planting strip at least six (6) feet in width. Composition of the planting strip shall be either (1) a combination of flower beds and shrubs where the shrubs cover a minimum of forty percent of the planting areas, or (2) a combination of trees and flower beds so that there is a minimum of one (1) tree per twenty-five (25) linear feet of building wall abutting the planting area. A combination of shrubs, trees, and flower beds is also permissible.

I. Street Trees.

- (1) All commercial, industrial, institutional, and residential development shall be required to have street trees along all public rights-of-way. This requirement does not apply to rear access lanes or alleys.
- (2) Street trees shall be planted by the developer as part of the Conditions of Approval. They shall be placed along each side of all streets and shall be spaced at intervals no greater than thirty (30) feet along both sides of each street.
- (3) Street trees are required to be within a minimum five- (5-) foot planting strip located between the curb of the street and the sidewalk. Should there be an instance where no sidewalk is required, street trees shall still be required, within a defined street yard of at least five (5) feet in width.

- (4) Street trees shall be credited against buffering requirements as appropriate.
- (5) Understory trees may be substituted for canopy trees if, upon review with the appropriate agencies, a conflict or potential exists with overhead utility lines.

j. Buffer Landscape Standards.

Landscaped buffer yards shall be provided and perpetually maintained along all property lines in accordance with the following table, when applicable:

Proposed Use/Zoning	Building/Accessory Structure Buffer Yard Requirements	Parking Lots/Service Lanes/Loading Areas/Outdoor Storage Buffer Yard Requirements
Multi-family, duplex or townhouse development*	50	
Shopping Centers/Malls	50	25
Hotel/Motel	50	25
Industrial Park	100	50

* Optional at the discretion of the Planning Commission

- (1) **Residential Buffers.** Whenever multi-family, duplex, or townhouse residential dwelling units are proposed, the Planning Commission may require screening in accordance with the following standards:
 - (a) The buffer yard shall contain two (2) canopy (shade) trees and a combination of three (3) evergreen trees and/or understory trees per one hundred (100) linear feet of buffer yard. If more than twenty (20) trees are required, no more than sixty (60%) percent shall be of any one (1) type.
 - (b) The buffer yard shall contain ten (10) shrubs per one hundred (100) linear feet of buffer yard.

- (2) **Commercial Buffers.** Within the Town’s commercial zoning districts, with the exception of TC, which is the Town’s core downtown zoning district, the use or development shall provide screening in accordance with the following standards, whenever bordering a residential zone:
 - (a) The buffer yard shall contain three (3) canopy (shade) trees and a combination of five (5) evergreen and/or understory trees per one hundred (100) linear feet of buffer yard. If more than twenty (20) trees are required, no more than sixty (60%) percent shall be of any one (1) type.
 - (b) The buffer yard shall contain fifteen (15) shrubs per one hundred (100) linear feet of buffer yard.

- (3) **Ground Cover to be Planted in Landscaping Buffers.** All portions of the buffer yards required in subsections 1 through 3 above not planted with trees or shrubs or covered by a wall or other barrier shall be planted with grass, ground cover, and/or flower beds.
- (4) **Adjacent Vacant Lots.** Where vacant zoning lots are adjacent, the first zoning lot to be developed shall provide the buffer and screening required next to vacant land. At the time it is developed, if applicable, the second zoning lot shall also provide the buffer and screening required between the developed land uses. As long as the required buffer and screening is provided and maintained, a buffer may contain sidewalks, pedestrian and bicycle paths, and similar passive uses compatible with the general separation of land uses.
- (5) **Buffers to be Located within Setbacks.** Where possible the landscaped buffer area should be planted within the required building setback area. In such districts where zoning setbacks permit principal structures in closer proximity to property lines, the Planning Commission may approve a narrower landscaped buffer or a relocation of landscaping elsewhere on site.
- (6) **Buffers To Be Kept Out of Rights of Way and Easements.** Required buffers shall be located along the front, side, or rear lot lines nearest the adjacent streets, land uses, or zoning designations except where such lot lines are intersected by streets, access ways or utility easements. Buffers shall not be located on any portion of an existing or proposed street right-of-way. Buffers shall be permitted to intersect utility easements or run parallel with them, but utility easements shall not be permitted to run laterally within the buffer.
- (7) **Exceptions.** Where connectivity between subdivisions is appropriate for high quality neighborhood design, the Planning Commission may reduce or waive the required buffer yard. Buffers are not required for internal property boundaries of a planned community with mixed uses but will be required to be placed at the perimeter of the project.
- (8) **Reverse Frontage Lots.** Reverse frontage lots, where the rear of the structure faces the public street, are discouraged. However, in the instance where the developer chooses to face the rear of the structure towards the street, the appropriate residential buffer requirements shall apply along the right-of-way, in addition to the requirements for street trees.
- (9) **Substitution of Fences for Landscaping.** In addition to the buffer screening required herein, and the landscaping required for off-street parking, all businesses' service, repair, processing, storage, or merchandise display conducted outside of an enclosed building shall be screened from adjacent streets and properties by means of an effective screening device of a height, not more than six (6) feet, unless a variance is granted by the Board of Zoning Appeals. Appropriate screening devices may include solid decorative brick walls, wood fences, berms,

tight evergreen hedges which shall reach the necessary height within two (2) years of planting, or a combination of the above.

k. Materials Type. Species shall be selected according to the following general criteria:

- (1) Cast moderate to dense shade in the summer.
- (2) Survive more than sixty (60) years.
- (3) Tolerant of pollution and direct or reflect heat.
- (4) Require little maintenance by being mechanically strong (not brittle) and insect and disease resistant.
- (5) Be able to survive two (2) years with no irrigation after establishment.
- (6) Preference given to species of native origin.
- (7) Not drop fruit, etc. on sidewalks.
- (8) Recommended canopy trees include:

sycamore	sweet gum	red maple	sugar maple	willow oak
green ash	pin oak	little leaf linden	silver linden	eastern red oak
crimean linden	shingle oak	sawtooth oak	European beech	
black oak	chestnut oak	American linden	eastern black walnut	
common hackberry	white oak	thornless locust	tulip poplar	
bur oak	Chinese scholar tree	scarlet oak	white ash	

(9) Recommended understory/evergreen trees include:

American hornbeam	Washington hawthorn	flowering dogwood	bark dogwood
American holly	leyland cypress	paperbark maple	yoshino cherry
Canada hemlock	Norway spruce	eastern red cedar	eastern white pine

Species specifically prohibited are Bradford callery pear and female ginkos.

(10) Recommended shrubs include:

Edward Goucher Abelia	Wintergreen Barberry	Japanese Greenleaf Barberry	Yews
Slender Deutzia	Southern Bush- honeysuckle	Emerald Gaiety Euonymus	Spirea
Fosters American Holly	California Privet	Olympic Fire Laurel	Arborvitae
Winter Honeysuckle	Northern Bayberry	Gnome Pyracantha	Junipers
Rutgers Pyracantha	Spring Glory Forsythia	Burkwood Viburnum	
Leatherleaf Viburnum	Old Fashioned Weigela	Butterfly bush	

I. Stormwater Management Control Facilities.

Landscaping is a critical element to improve both the function and appearance of stormwater management. Landscaping of stormwater management facilities, (ponds, retention, or detention basins), is required in all zoning districts. The Stormwater Design Manual, Volumes I & II (Maryland Department of the Environment) shall be utilized during the design process.

At a minimum, measured from the contour at the top of the berm, based on the perimeter length of the pond or detention area; one (1) canopy (shade) tree shall be provided for every fifty (50) feet, one (1) evergreen tree shall be provided for every forty (40) feet, and two (2) small understory trees for every fifty (50) feet.

When adjoining a public right-of-way, such facilities shall be sited to allow for street trees and screening plantings, shall be aesthetically pleasing, and shall be designed to incorporate storm water best management practices.

If a chain link fence is utilized for security purposes, it shall be sufficiently screened by plantings. It is recommended that planting around stormwater management areas be native vegetation. Plants that are associated with stream, pond, or wetland habitat provide an attractive character for such facilities if suited to site conditions. The plant material selected should be appropriate to the specific environmental conditions created.

It is also recommend that Low Impact Development hydrologic design, utilizing integrated management practices (IMPs), be considered as an alternative to more conventional storm water management controls. The design goal is to create a hydrologically functional landscape, maintaining pre-development conditions with respect to storm water runoff while enhancing the aesthetic qualities of a site.

Also see locational and design standards for stormwater management facilities in Subsection 4, below.

3. **Parking Lot Design Standards.** Every off-street parking area shall be developed and maintained in accordance with the following requirements:
- a. All off-street parking areas shall be paved with a stable, dust-free surface conforming to Town standards or other method approved by the Town Engineer.
 - b. Surface parking facilities shall be landscaped as specified in Section I.
 - c. Lighting shall be provided for all parking areas which will receive night use. Such lighting shall be directed to the parking area and be shielded to prevent adverse glare on adjacent public streets. Where proposed lighted parking areas are located adjacent to a residential district or residential use, lighting shall be of minimum intensity to assure safety and security and shall be well shielded from the adjacent property.
 - d. The periphery of off-street parking areas shall be adequately screened and landscaping shall be adequate to prevent or minimize the adverse effects of the parking lot on contiguous properties. See Section I.2.h for specific standards.
 - e. All off-street parking areas shall be so arranged and marked as to provide for orderly, safe loading, unloading and parking of vehicles with individual parking spaces clearly defined, and directional arrows and traffic signs provided as necessary for traffic control.
 - f. Pedestrian walkways and sidewalks shall be provided along the frontage of subject properties, to and from all paved parking areas, and shall be designed to serve on-site principally permitted uses and accessory uses for which there is pedestrian demand. Such walkways and sidewalks shall be protected from vehicular overhang and movement by curbs or other method approved by the Town Engineer.

4. **Waiver of Design Provisions.**

The Planning Commission may waive design provisions of this subsection, if requested in writing by the developer, when the Planning Commission is satisfied that an alternative proposed by the applicant meets the intent of this subsection. Documentation of and justification for any requested deviation from these standards shall be provided. The site plan for the proposed development and the buildings as constructed shall substantially conform the sketch plan approved by the Planning Commission.

720 DESTINATION RETAIL USE DESIGN AND MAINTENANCE STANDARDS.

The Planning Commission may require the following standards be applied to any project or development constructed or modified within the GC Zoning District that shall contain a “destination retail use” as defined in Article 2 of this Ordinance.

- a. **Intent.** The intent of this subsection is:
 - (1) to establish design standards that create highly attractive commercial centers with plentiful greenery and orderly outdoor spaces;

- (2) to design centers which are sustainable through tenant turnover;
- (3) to minimize the visual impact of large commercial buildings and parking facilities, especially when adjacent to existing residential neighborhoods;
- (4) to improve the pedestrian experience moving within and through such commercial centers; and
- (5) to minimize sprawl and concentrate development through the use of multi-story structures where possible. This subsection shall apply to all destination retail uses, including wholesale facilities that are open to the public, or through membership.

b. Design and Performance Standards.

Construction of new buildings and shopping centers containing a destination retail use, or modification or renovation of an existing building or shopping center to introduce a destination retail use shall comply with the following performance standards:

- (1) **Height.** The preferred design of the destination retail use shall be no less than two (2) complete stories. The Planning Commission may waive this requirement if the stock-in-trade of the retailer proposed to occupy the site is not conducive to a multi-story layout.
- (2) **Location on Site.** The building or shopping center shall be so located on the site as to place destination retail uses near the primary public street or to the rear of a “main street” shopping center design for the purpose of reducing the visual impact of an expansive parking area between the building and public streets, locating parking primarily to the side and rear of buildings.
- (3) **Landscaping and Pedestrian Circulation.** A landscaped plaza equal to 2.5% of the gross square foot area of the destination retail use shall be provided in front of that unit to serve as a visual focal point for the project. In no case shall the plaza be less than two thousand (2,000) square feet in area, and it may not be required to exceed four thousand (4,000) square feet in area. The plaza shall contain ornamental landscaping and paving, trees, benches and other amenities. The parking and circulation layout shall be designed to maximize pedestrian circulation throughout the site and to adjacent uses.
- (4) **Building Design.**
 - (a) The building or shopping center (including buildings located on out lots) shall be constructed of high quality natural materials finished in low reflectance, earth tone colors and finishes. Materials may include brick, wood, stone, tinted textured concrete masonry units, architectural concrete block or other material approved by the Planning Commission.

- (b) Public-oriented facades and the roof line of the destination retail use shopping center or building and any facade that is located within three hundred (300) feet of a residential zoning district shall be articulated and constructed with architectural elements so as to appear as a series of smaller buildings.
- (c) “Main Street” shopping center layouts are preferred. When the “main street” concept is not applied, shopping centers shall be designed so that the mass of a destination retail use is masked by the presence of smaller retail and service uses along the front of the building.
- (d) Loading docks, truck parking, outdoor storage, utility meters, HVAC equipment and other service functions shall be incorporated into the overall design of the building and landscaping so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets, using materials and landscaping consistent with the rest of the project.
- (e) Non-enclosed areas for storage of pallets, recycling, temporary seasonal merchandise overstock warehousing, and sale of seasonal inventory shall be permanently defined and screened with walls and/or fences and/or heavy evergreen landscaping consistent with materials and landscaping used throughout the project.
- (f) Parking and service area lighting shall be full cut-off units designed to project downward or ornamental streetlights.

(5) Preliminary Consultation and Sketch Plan.

A preliminary consultation shall be held between the Planning Commission and the applicant or developer of the proposed destination retail use development. The application shall be accompanied by a sketch plan prepared by a registered professional engineer, registered architect or landscape architect or registered land surveyor. The sketch plan shall be to scale and contain sufficient information to establish the identity of proposed uses, grades and general dimensions and locations of proposed structures, streets, parking areas, walkways, easements and property lines. The sketch plan shall include a layout of the proposed development of the entire site (including out lots) and preliminary sketches of the exterior treatment of the shopping center or destination retail use building.

(6) Remodeling and Renovation of Existing Retail Centers.

When an existing retail center is renovated or redeveloped to permit the introduction of a destination retail use to the site, all provisions of this subsection shall apply to the renovation plans. Given the existing nature

of site improvements, the Planning Commission may treat such proposed renovation with leniency when reviewing plans submitted in accordance with this subsection.

(7) Waiver of Design Provisions.

The Planning Commission may waive design provisions of this subsection, if requested in writing by the developer, when the Planning Commission is satisfied that an alternative proposed by the applicant meets the intent of this subsection. Documentation of and justification for any requested deviation from these standards shall be provided. The site plan for the proposed development and the buildings as constructed shall substantially conform the sketch plan approved by the Planning Commission.

c. Maintenance of Abandoned Destination Retail Use Buildings.

Any freestanding building over seventy-five thousand (75,000) square feet in area which is vacated by its owner shall be maintained during its period of vacancy to the following minimum standards:

- (1) The property shall be kept clear of trash;
- (2) Parking lot lights shall be illuminated during the evening business hours of the surrounding commercial area;
- (3) Commercial identification signs shall be removed and the space behind them repainted;
- (4) Landscaped areas shall be kept clear of weeds and be properly maintained;
- (5) Buildings shall be kept in good condition (painted areas kept in good condition, windows kept in good and clean condition, walls and other surfaces kept clear of graffiti and other staining elements, destruction caused by vandals repaired, etc.);
- (6) Leasing information shall be posted.

807 STREET LIGHT SPECIFICATIONS

The subdivider/developer shall erect streetlights within all developments, as determined by the Planning Commission, which meet Town specifications. The specific locations of the lights shall be determined by the electrical plan approved by Allegheny Power. Coordination with Allegheny Power and the installation of the lights shall be the responsibility of the subdivider/developer. .

Street lights shall be considered a public improvement and bonded accordingly, as specified in Article 9.



CITY OF HAGERSTOWN, MARYLAND - ENGINEERING AND INSPECTIONS DEPARTMENT

MISCELLANEOUS STANDARD DETAIL

CONCRETE TREE WELL
WITH 48" X 48" GRATE FRAME

ISSUE DATE: 01-01-03

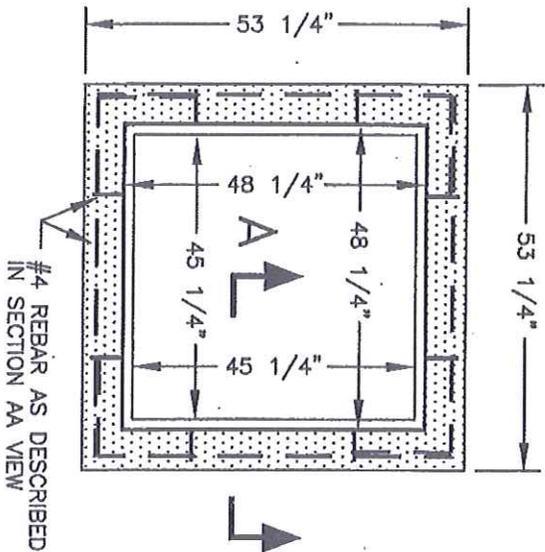
REVISIONS
01-01-07

Plate M-010

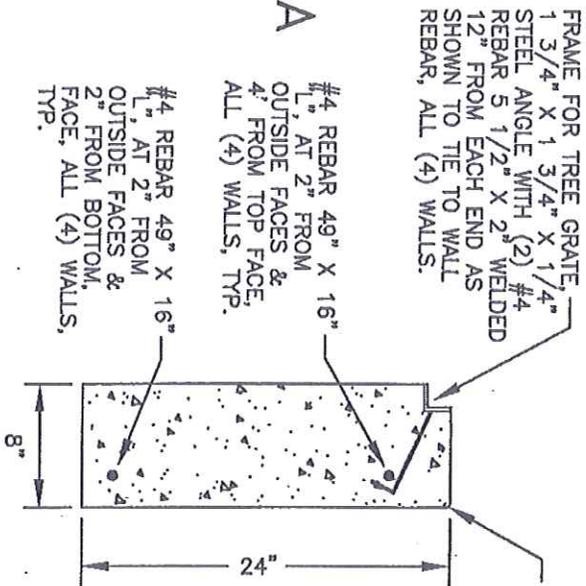
1. ALL CONCRETE SHALL BE MD DEPT. OF TRANS. S.H.A. MIX NO. 3 CONCRETE WITH 5%-8% AIR AND 2"-5" SLUMP. DO NOT ADD WATER TO THE SURFACE FOR FINISHING.
2. STEEL ANGLE GRATE FRAME SHALL BE MITERED AT THE CORNERS AND TACK WELDED ON THE BACK SIDE. GRATE FRAME SHALL BE SQUARE AND FLAT AND PAINTED WITH ONE COAT OF PRIMER AND TWO FINISH COATS OF PAINT (RUST OLEUM NO 769 RED PRIMER AND BENJAMIN MOORE BLACK-IRON CLAD NO. 163-80 OR APPROVED EQUALS). THE OUTSIDE DIMENSIONS OF THE FRAME SHALL BE 48 3/4" X 48 3/4" (CREATING A 48 1/4" X 48 1/4" GRATE BED). CONSTRUCT AND INSTALL THE FRAME REGARDLESS OF WHETHER THE TREE WELL SHALL RECEIVE A CAST TREE WELL GRATE OR NOT.
3. THE TOP OF THE TREE ROOT BALL SHALL BE 4" BELOW PAVEMENT FINISH GRADE AND MULCHED AS SHOWN. REFER TO PLATE M-012 FOR ALL OTHER PLANTING INFORMATION AND TO PLATE M-013 FOR STAKING AND GUTTING.

NOTES

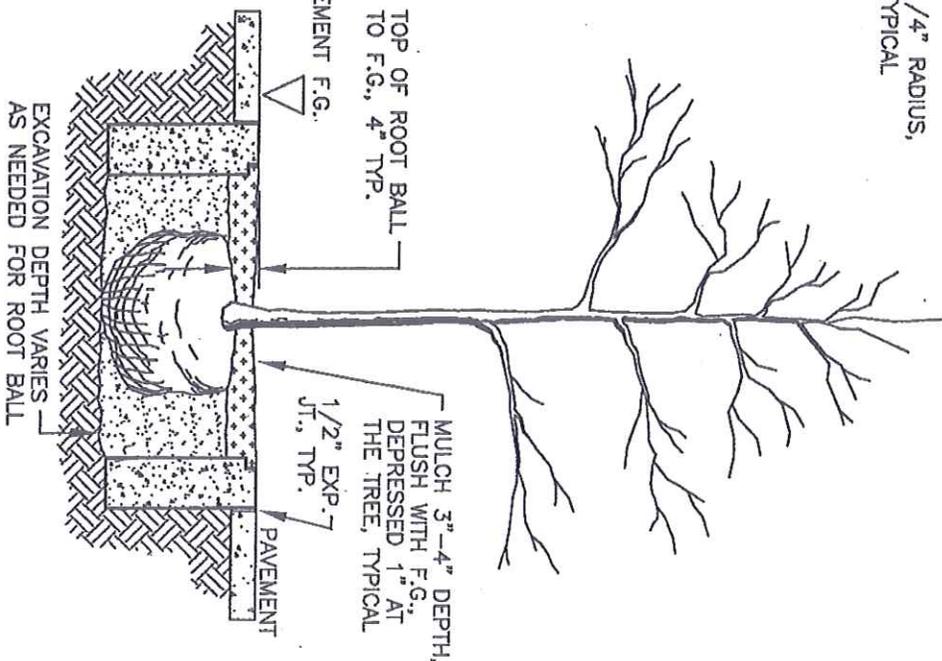
CONCRETE TREE WELL PLAN VIEW



SECTION AA

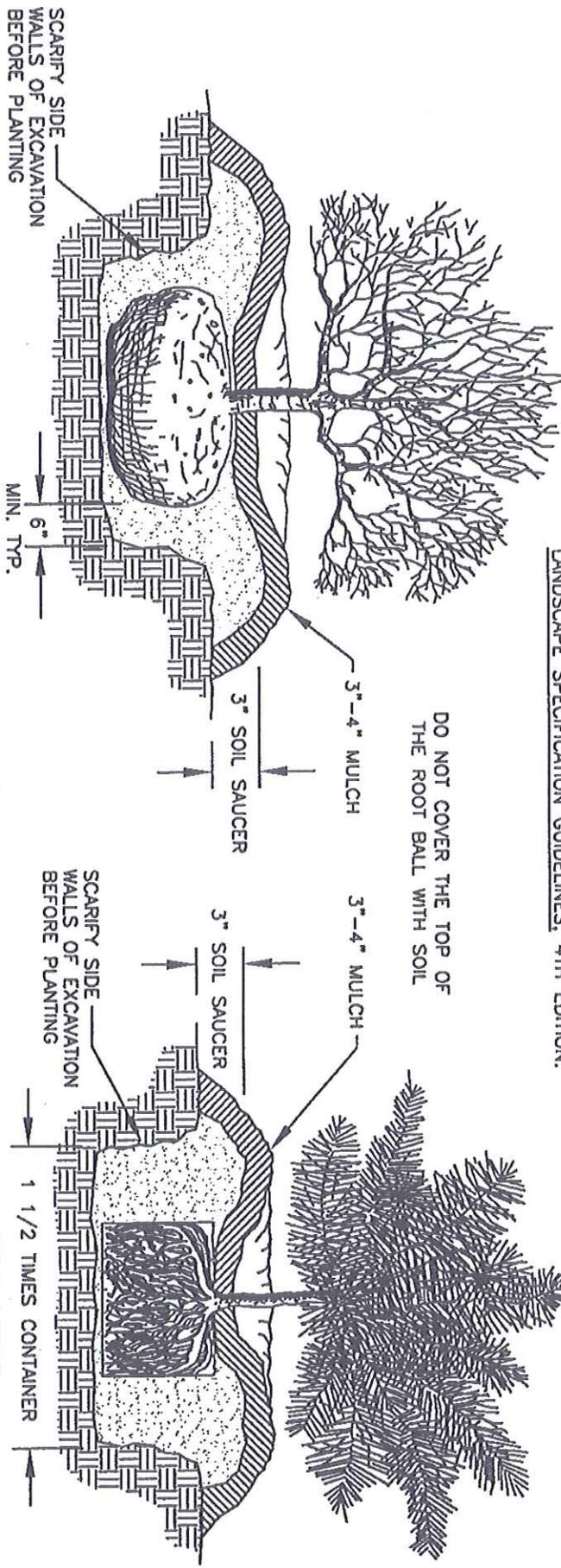


TREE PLACEMENT IN TREE WELL



1. THE EXCAVATION FOR BALLED SHRUBS SHALL BE 6" LARGER THAN THE ROOT BALL ON ALL SIDES, FOR CONTAINER SHRUBS 1 1/2 TIMES THE CONTAINER DIAMETER. SCARIFY THE EXCAVATION WALLS. THE SHRUB ROOT BALL SHALL PROTRUDE ABOVE THE EXISTING GRADE 1/8 OF THE ROOT BALL HEIGHT.
2. DO NOT PLANT THE SHRUB ON SLOPES STEEPER THAN 2:1. REMOVE CONTAINERS AND SLASH THE ROOT BALL FROM TOP TO BOTTOM AT LEAST 1" IN SEVERAL LOCATIONS. IF THE SHRUB IS BALLED & BURLAPPED KEEP THE ROOT BALL MOIST AT ALL TIMES. GENTLY REMOVE ALL SYNTHETIC FILM AND CUT AND REMOVE THE TOP 50% OF WIRE, ROPE, AND BURLAP. USE THE EXCAVATED SOILS FROM THE PIT TO FORM A SOIL SAUCER AROUND THE SHRUB AS SHOWN. ON SLOPES THE SOIL SAUCER SHOULD BE THICKER ON THE DOWNHILL SIDE OF THE SHRUB.
3. BACKFILL ALONG THE SIDES OF THE ROOT BALL SHALL BE EXCAVATED SOIL MIXED WITH AN EQUAL AMOUNT OF FURNISHED TOPSOIL. FURNISHED TOPSOIL SHALL BE SOIL TESTED AND CERTIFIED BY A STATE OF MARYLAND RECOGNIZED LABORATORY AS FOLLOWS: pH RANGE 5.0-7.0, ORGANIC MATTER > 1.5%, MAGNESIUM (Mg) 100+ UNITS, PHOSPHORUS (P₂O₅) 150+ UNITS, POTASSIUM (K₂O) 120+ UNITS, AND SOLUBLE SALTS/CONDUCTIVITY NOT TO EXCEED 3,000 PPM/2.5 mmhos/cm. THIS TOPSOIL SHALL ALSO BE FREE OF STONES, LUMPS, DEBRIS GREATER THAN 1 1/2", TOXIC SUBSTANCES, OR ANY PARTS OF NOXIOUS WEEDS. TAMP BACKFILL SOIL MIXTURE FIRMLY HALFWAY UP THE ROOT BALL THEN LIGHTLY. WATER GENEROUSLY.
4. MULCH THE TOP OF THE ROOT BALL AND SOIL SAUCER 2"-3" DEEP BUT DO NOT PLACE MULCH AGAINST THE SHRUB TRUNK. PRUNE AS NEEDED.
5. WATER THOROUGHLY AND REMOVE ALL TAGS, LABELS, STRINGS, WIRES, ETC. FROM THE SHRUB UNLESS OTHERWISE DIRECTED.
6. THESE SPECIFICATIONS INCLUDE INFORMATION TAKEN FROM THE MD-DC-VA LANDSCAPE CONTRACTOR'S ASSOCIATION LANDSCAPE SPECIFICATION GUIDELINES, 4TH EDITION.

NOTES



BALLED AND BURLAPPED

CONTAINER

CITY OF HAGERSTOWN, MARYLAND - ENGINEERING AND INSPECTIONS DEPARTMENT

**MISCELLANEOUS STANDARD DETAIL
SHRUB PLANTING**



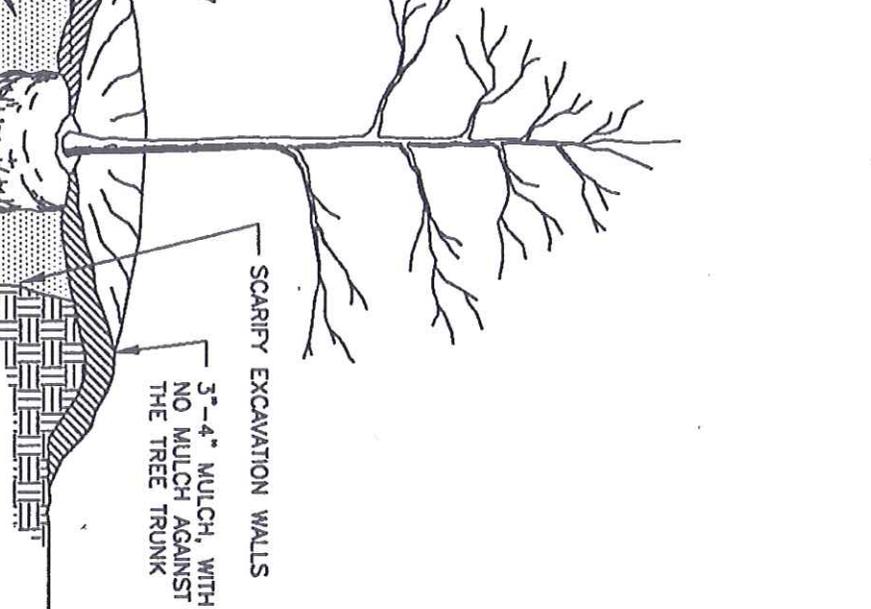
ISSUE DATE: 01-01-03

REVISIONS

Plate M-011

NOTES

1. EXCAVATE THE TREE PIT WITH 9" CLEARANCE ON ALL SIDES OF THE TREE'S ROOT BALL. THE BOTTOM OF THE TREE PIT SHALL BE UNDISTURBED OR WELL COMPACTED SOIL AND WILL BE AT THAT GRADE THAT ALLOWS 1/8 OF THE ROOT BALL HEIGHT TO BE ABOVE EXISTING GRADE. SCARIFY THE TREE PIT WALLS. DO NOT PLANT ON SLOPES STEEPER THAN 2:1. GENTLY PLACE THE TREE INTO THE TREE PIT AND SET THE TREE PLUMB. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOT BALL. CUT AND REMOVE THE TOP 50% OF WIRE, ROPE, AND BURLAP. KEEP THE ROOT BALL MOIST AT ALL TIMES.
3. USE THE EXCAVATED SOILS FROM THE TREE PIT TO FORM A SOIL SAUCER AROUND THE TREE AS SHOWN. ON SLOPES THE SOIL SAUCER SHOULD BE THICKER ON THE DOWNHILL SIDE OF THE TREE. BACKFILL ALONG THE SIDES OF THE ROOT BALL SHALL BE EXCAVATED SOIL MIXED WITH AN EQUAL AMOUNT OF FURNISHED TOPSOIL. FURNISHED TOPSOIL SHALL BE SOIL TESTED AND CERTIFIED BY A STATE OF MARYLAND RECOGNIZED LABORATORY AS FOLLOWS:
 PH RANGE OF 5.0-7.0, ORGANIC MATTER > 1.5%, MAGNESIUM (Mg) OF 100+ UNITS, PHOSPHORUS (P₂O₅) OF 150+ UNITS, POTASSIUM (K₂O) OF 120+ UNITS, AND SOLUBLE SALTS/CONDUCTIVITY NOT TO EXCEED 3,000 PPM/2.5 mmhos/cm
5. THIS TOPSOIL SHALL ALSO BE FREE OF STONES, LUMPS, ROOTS, OR OTHER DEBRIS GREATER THAN 1 1/2". TOPSOIL SHALL NOT CONTAIN TOXIC SUBSTANCES OR ANY PARTS OF NOXIOUS WEEDS. TAMP BACKFILL SOIL MIXTURE FIRMLY HALFWAY UP THE ROOT BALL. TAMP REMAINING BACKFILL SOIL MIXTURE LIGHTLY AND DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL. THEN WATER GENEROUSLY.
6. MULCH THE TOP OF THE ROOT BALL AND SOIL SAUCER 2"-3" DEEP BUT DO NOT PLACE MULCH AGAINST THE TREE TRUNK.
7. WATER THOROUGHLY AND REMOVE ALL TAGS, LABELS, STRINGS, WIRES, ETC. FROM THE TREE UNLESS OTHERWISE DIRECTED.
8. PRUNE ANY DEAD, DAMAGED, OR DISEASED LIMBS. DO NOT CUT THE MAIN LEADER.
9. THESE SPECIFICATIONS INCLUDE INFORMATION TAKEN FROM THE MD-DC-VA LANDSCAPE CONTRACTORS ASSOCIATION LANDSCAPE SPECIFICATION GUIDELINES, 4TH EDITION.
10. FOR THE STAKING AND GUYING OF TREES REFER TO PLATE M-013.



CITY OF HAGERSTOWN, MARYLAND - ENGINEERING AND INSPECTIONS DEPARTMENT

MISCELLANEOUS STANDARD DETAIL

TREE PLANTING



ISSUE DATE: 01-01-03

REVISIONS

Plate M-012



CITY OF HAGERSTOWN, MARYLAND - ENGINEERING AND INSPECTIONS DEPARTMENT

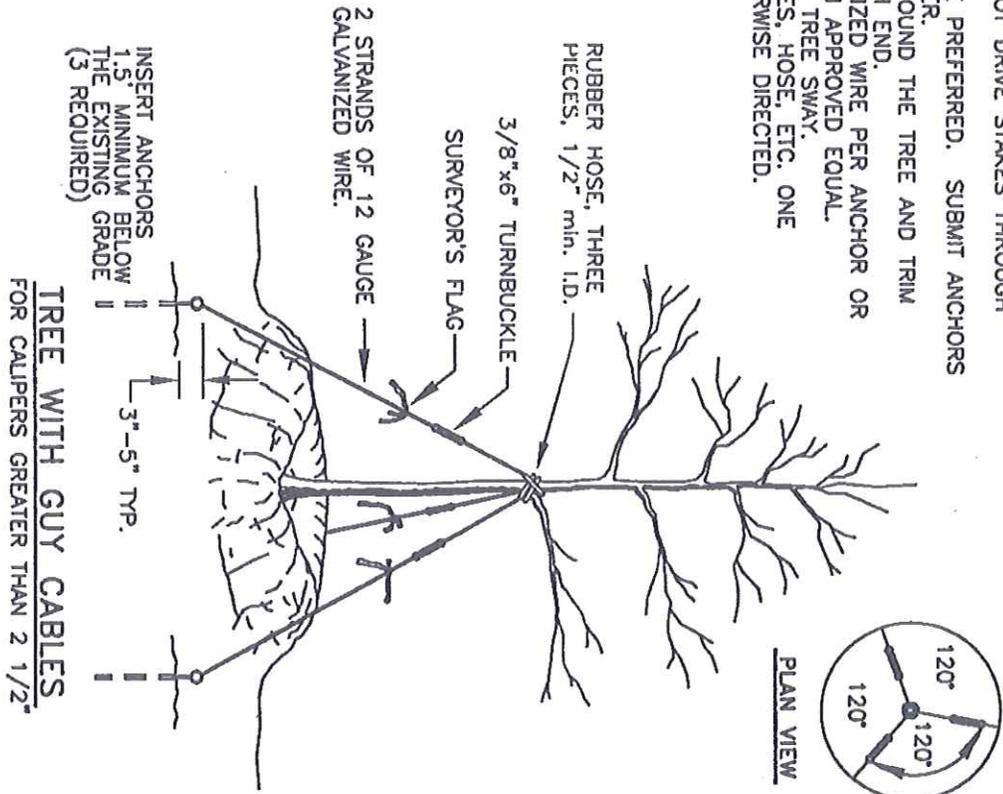
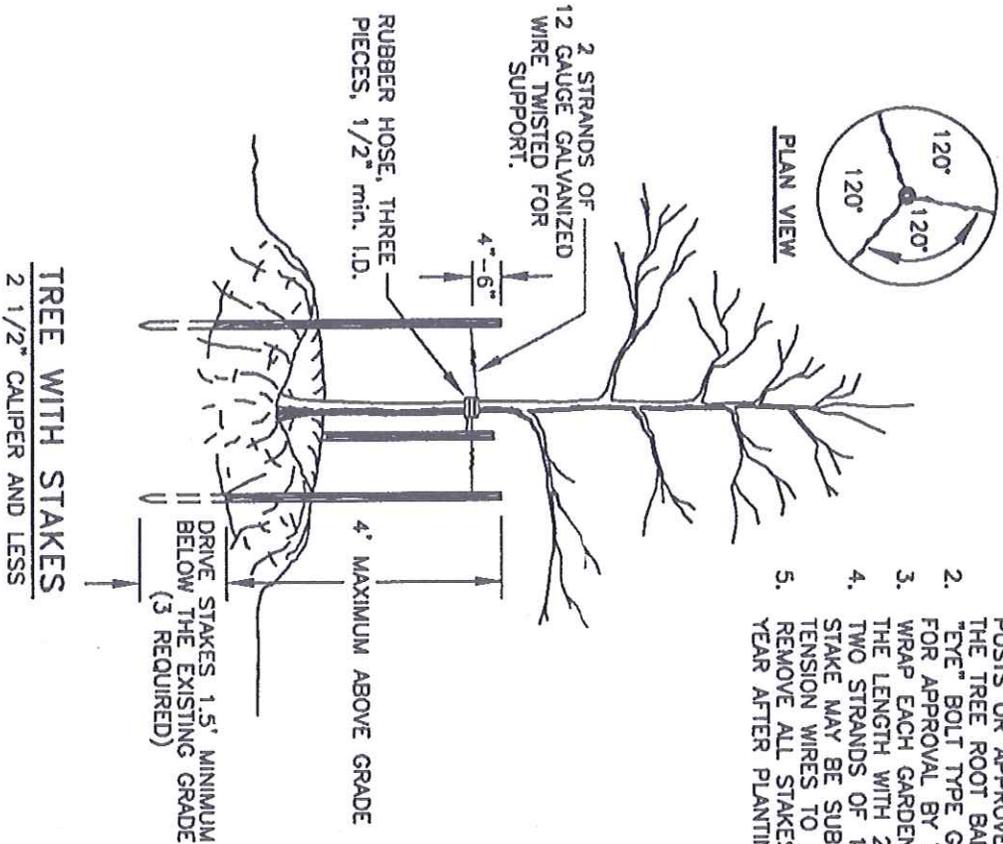
MISCELLANEOUS STANDARD DETAIL
STAKING AND GUYING
TREES

ISSUE DATE: 01-01-03

REVISIONS

Plate M-013

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- NOTES**
1. STAKES SHALL BE HARDWOOD (NOMINAL 2"x2") OR HEAVY "I" STEEL POSTS OR APPROVED EQUAL. DO NOT DRIVE STAKES THROUGH THE TREE ROOT BALL.
 2. "EYE" BOLT TYPE GUY ANCHORS ARE PREFERRED. SUBMIT ANCHORS FOR APPROVAL BY THE CITY ENGINEER.
 3. WRAP EACH GARDEN HOSE PIECE AROUND THE TREE AND TRIM THE LENGTH WITH 2" EXTRA AT EACH END.
 4. TWO STRANDS OF 12 GAUGE GALVANIZED WIRE PER ANCHOR OR STAKE MAY BE SUBSTITUTED WITH AN APPROVED EQUAL.
 5. TENSION WIRES TO ALLOW 1"-3" OF TREE SWAY.
 6. REMOVE ALL STAKES, ANCHORS, WIRES, HOSE, ETC. ONE YEAR AFTER PLANTING UNLESS OTHERWISE DIRECTED.

TREE WITH GUY CABLES
FOR CALIPERS GREATER THAN 2 1/2"

TREE WITH STAKES
2 1/2" CALIPER AND LESS

BOTANICAL NAME/ COMMON NAME	NOTES	MATURE			DESCRIPTION	FLOWERS	FRUIT	MINIMUM PLANTER SPACE
		HEIGHT	CANOPY WIDTH	CANOPY CREDIT (SQ.FT.)				
Acer compestre Hedge Maple	U	25'-50'	25'-40'	829	GLOBOSE	GREEN	SEED PODS	3' x 3'
Acer platanoides (Columnar) Columnar Norway Maple	C	50'-60'	15'-20'	240	UPRIGHT NARROW	GREENISH YELLOW	SEED PODS	3' x 3'
Acer platanoides (Crimson King) Crimson King Norway Maple	R	35'-45'	25'-35'	707	OVAL	MARON YELLOW	SEED PODS	3' x 3'
Acer rubrum (Bowhall) Bowhall Red Maple	C/S/R	40'-50'	20'-30'	491	CONICAL	PALE ORANGE	SEED PODS	3' x 3'
Acer rubrum (Karpick) Red Maple	S/R	50'-75'	30'-70'	397	OVATE TO GLOBOSE	NONE	NONE	3' x 3'
Acer rubrum (Northwood) Northwood Red Maple	S/R	50'-60'	40'-50'	1,590	OVATE	ORANGE RED	SEEDLESS	3' x 3'
Acer rubrum (October Glory) October Glory, Red Maple	S/R	50'-60'	40'-50'	1,590	BROADLY OVATE	RED	SEED POD	3' x 3'
Amelanchier x grandiflor (Autumn Brilliance) Autumn Brilliance, Serviceberry (single stem)	U/C	20'-30'	15'-18'	214	OVATE	WHITE	BERRYLESS	3' x 3'
Carpinus caroliniana American Hornbeam	U/C/S	20'-35'	20'-35'	829	CONICAL	WHITE TO YELLOW	NULLETS	3' x 3'
Celtis occidentalis (Prairie Pride) Hackberry		40'-60'	40'-60'	1,590	GLOBOSE	CLUSTERS	RED DRUPES	6' x 8'

S - Spring planting recommended R - Shallow root system with some surface roots C - Columnar specimen M - Must be male U - Upright specimen

CITY OF HAGERSTOWN, MARYLAND - ENGINEERING AND INSPECTIONS DEPARTMENT

ISSUE DATE: 01-01-03

REVISIONS

01-01-04 | 01-01-07

MISCELLANEOUS STANDARD DETAIL
APPROVED STREET TREE LIST

(1 OF 3)

Plate M-014.1



BOTANICAL NAME/ COMMON NAME	NOTES	MATURE			DESCRIPTION	FLOWERS	FRUIT	MINIMUM PLANTER SPACE
		HEIGHT	CANOPY WIDTH	CANOPY CREDIT (SQ.FT.)				
Fraxinus americana (Autumn Purple) Autumn Purple, White Ash		50'-60'	45'-55'	1,963	BROADLY OVATE	NONE	SEEDLESS	6' x 6'
Fraxinus Pennsylvanica "Patmore" Patmore Ash	U/C	50'-60'	30'-40'	1,600	OVATE	GREEN	----	6' x 6'
Princeton Sentry (Ginkgo Bilibq) Ginkgo	M	55'-65'	20'-30'	594	CONICAL	----	NONE	5' x 5'
Gleditsia triacanthos (Imperial) Imperial Honeylocust		30'-40'	35'-45'	1,256	GLOBOSE	----	FRUITLESS	5' x 5'
Gleditsia triacanthos (Moraine) Moraine Honeylocust		60'-70'	50'-60'	2,375	BROADLY OVATE VASE SHAPED	----	FRUITLESS	5' x 5'
Gleditsia triacanthos (Inermis) Thornless Honeylocust		60'-70'	50'-60'	2,500	BROADLY OVATE TO IRREG. VASE SHAPED	----	NONE	5' x 5'
Ilex Opaca Tree Farm American Holly	M or F	40'-50'	10'-20'	625	CONICAL	SMALL WHITE	FALL BERRIES	5' x 5'
Koeleria paniculata Goldenrain	U	30'-40'	30'-40'	829	GLOBOSE	YELLOW	SEED PODS	3' x 3'
Prunus Sargentii (Accolade) Accolade Flowering Cherry	U/C	30'-40'	25'-35'	707	GLOBOSE	PINK	NONE	3' x 3'
Quercus imbricaria Shingle Oak		40'-65'	40'-70'	2,375	CONICAL	YELLOW CATKINS	ACORNS	6' x 6'
Quercus rubra Northern Red Oak	S	60'-80'	45'-85'	2,375	OVATE VERY LARGE TREE	----	ACORNS	6' x 6'
Quercus robur (Fastigiata) English Oak	C	50'-60'	15'-20'	240	UPRIGHT NARROW	CATKINS	ACORNS	6' x 8'

S- Spring planting recommended R- Shallow root system with some surface roots C- Columnar specimen M- Must be male U- Upright specimen

CITY OF HAGERSTOWN, MARYLAND - ENGINEERING AND INSPECTIONS DEPARTMENT



MISCELLANEOUS STANDARD DETAIL
APPROVED STREET TREE LIST
(2 OF 3)

ISSUE DATE: 01-01-03

REVISIONS	
01-01-04	01-01-07

Plate M-014.2

BOTANICAL NAME/ COMMON NAME	NOTES	MATURE			DESCRIPTION	FLOWERS	FRUIT	MINIMUM PLANTER SPACE
		HEIGHT	CANOPY WIDTH	CANOPY CREDIT (SQ.FT.)				
Quercus robur (Skymaster) Skymaster English Oak	C	50'-60'	25'-30'	594	CONICAL	CATKINS	ACORNS	6' x 8'
Syringa reticulata (Ivory Silk Tree Form) Ivory Silk Japanese Tree Lilac	U/C	20'-30'	15'-20'	240	OVATE	WHITE	CAPSULES	3' x 3'
Tilia cordata (Chancellor) Chancellor Little Leaf Linden	C	50'-70'	20'-30'	491	PYRAMIDAL	YELLOW	NUTLETS	6' x 6'
Tilia cordata (Corinthian) Corinthian Little Leaf Linden	C	45'-65'	15'-25'	314	NARROWLY CONICAL	YELLOW	NUTLETS	6' x 6'
Tilia cordata (Green Spire) Green Spire Little Leaf Linden		50'-70'	35'-50'	1,418	OVATE	YELLOW	NUTLETS	6' x 6'
Ulmus Carpiniifolia "Accolade" Accolade Elm	U/C	40'-60'	25'-40'	900	GLOBOSE	---	---	6' x 6'
Zelkova serrata (Green Vase) Green Vase Japanese Zelkova		60'-70'	50'-55'	2,164	VASE SHAPED	---	NONE	6' x 6'

- S- Spring planting recommended R- Shallow root system with some surface roots C- Columnar specimen M- Must be male U- Upright specimen
- Trees must be 1-3/4" in caliper of larger with no branches below 6 feet.
 - Minimum distance of 10 lined feet from hydrants, poles, transformers, telephone junction boxes, manholes, and driveway approaches.
 - Minimum distance of 25 lined feet from street lights.
 - A minimum distance of 2.5 feet from the back of curb to center of tree should be used for street trees.
 - No trees should be in the triangular sight distance area at intersections or entrances.
 - Where trees are installed less than 5'-0" away from City Light conduit the City Light Department may require a linear root deflector.



CITY OF HAGERSTOWN, MARYLAND - ENGINEERING AND INSPECTIONS DEPARTMENT

MISCELLANEOUS STANDARD DETAIL
APPROVED STREET TREE LIST
(3 OF 3)

ISSUE DATE: 01-01-03
REVISIONS
01-01-04 01-01-07

Plate M-014.3



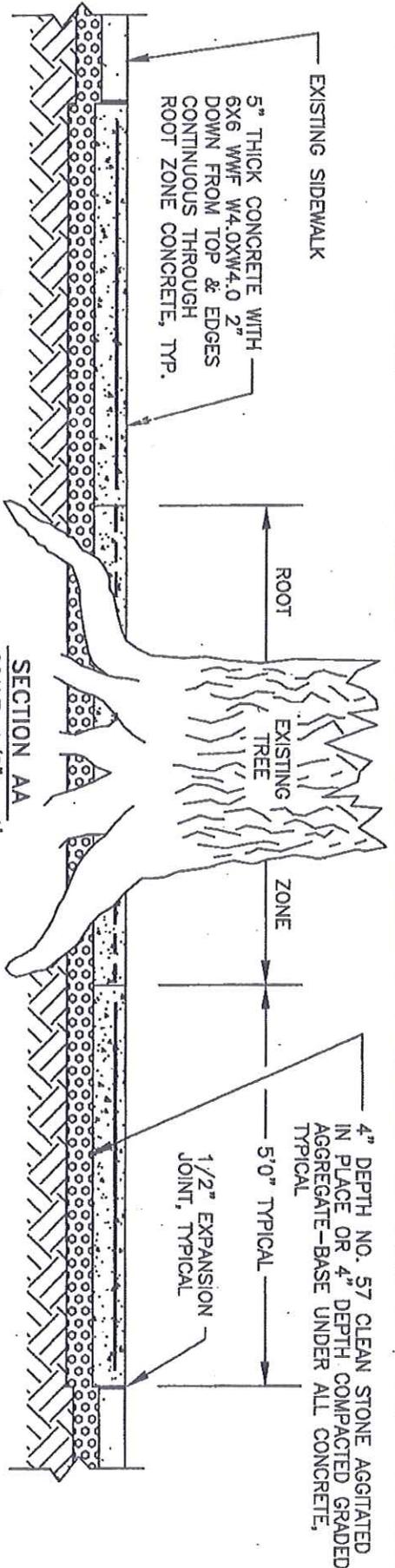
CITY OF HAGERSTOWN, MARYLAND - ENGINEERING AND INSPECTIONS DEPARTMENT

**TRANSPORTATION STANDARD DETAIL
SIDEWALK REPAIR AT EXISTING TREE
CONFINED SIDEWALK AREAS**

ISSUE DATE: 01-01-07

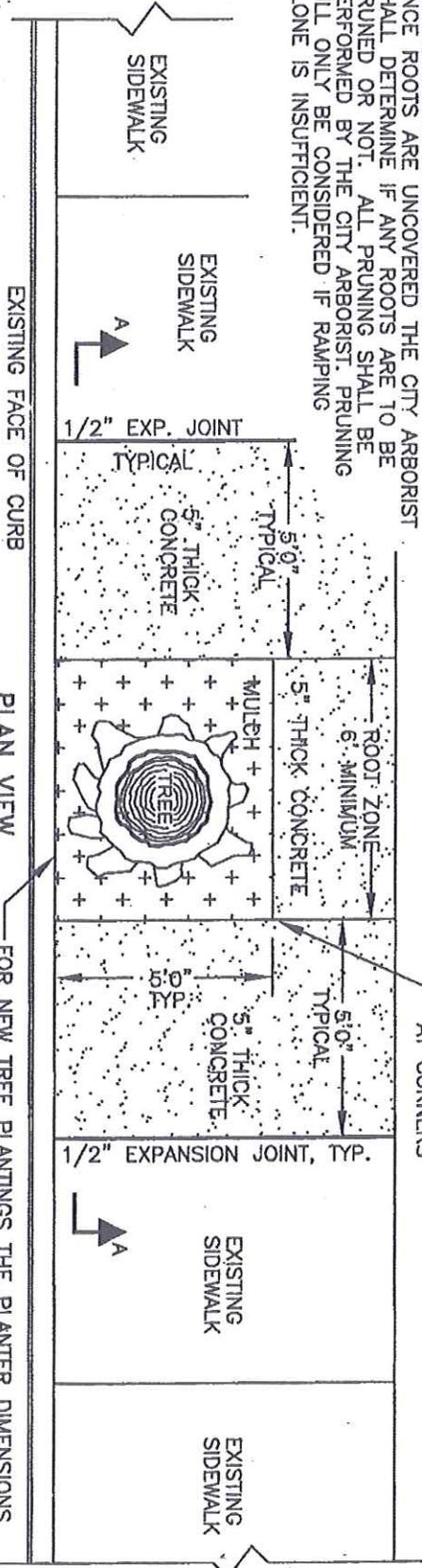
REVISIONS

Plate **M-015**



NOTES

1. THIS DETAIL IS INTENDED TYPICALLY FOR CONFINED SPACE SITUATIONS SUCH AS THE DOWNTOWN AREA.
2. THE 5" CONCRETE SIDEWALK SHALL EXTEND 5'0" BEYOND THE ROOT ZONE.
3. REFER TO CITY OF HAGERSTOWN STANDARD DETAIL PLATE T-050 FOR ADDITIONAL INFORMATION.
4. ONCE ROOTS ARE UNCOVERED THE CITY ARBORIST SHALL DETERMINE IF ANY ROOTS ARE TO BE PRUNED OR NOT. ALL PRUNING SHALL BE PERFORMED BY THE CITY ARBORIST. PRUNING WILL ONLY BE CONSIDERED IF RAMPING ALONE IS INSUFFICIENT.



PLAN VIEW

SCALE: 1/4" = 1'

FOR NEW TREE PLANTINGS THE PLANTER DIMENSIONS SHALL MATCH THOSE FOR THE TREE SPECIES IN ACCORDANCE WITH STANDARD DETAILS M-14.1, M-14.2, M-14.3.

EXISTING FACE OF CURB

EXISTING SIDEWALK

EXISTING SIDEWALK

1/2" EXP. JOINT
TYPICAL

5'0" TYPICAL
5" THICK CONCRETE



5" THICK CONCRETE
6" MINIMUM
ROOT ZONE

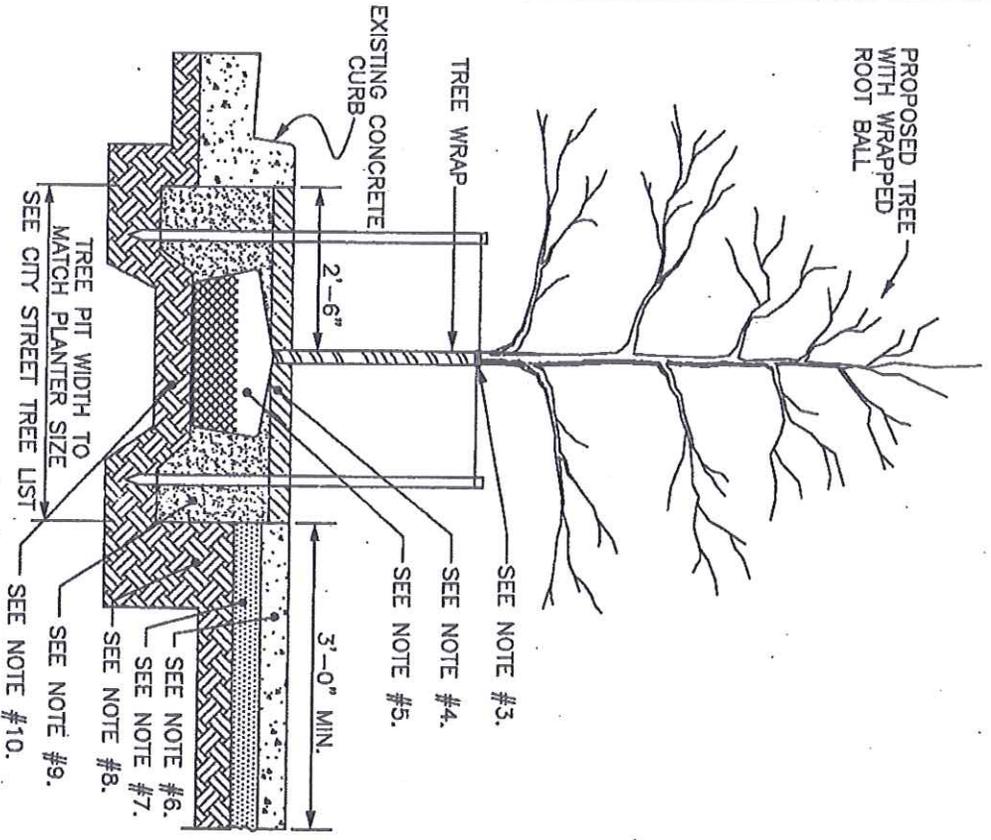
TOOL JOINTS AT CORNERS

5'0" TYPICAL
5" THICK CONCRETE

1/2" EXPANSION JOINT, TYP.

EXISTING SIDEWALK

EXISTING SIDEWALK



SECTION A-A

CITY OF HAGERSTOWN, MARYLAND - ENGINEERING AND INSPECTIONS DEPARTMENT

**MISCELLANEOUS STANDARD DETAIL
CONCRETE SIDEWALK TREE WELL
FOR NEW TREE INSTALLATION**

ISSUE DATE: 01-01-04

REVISIONS

01-01-07

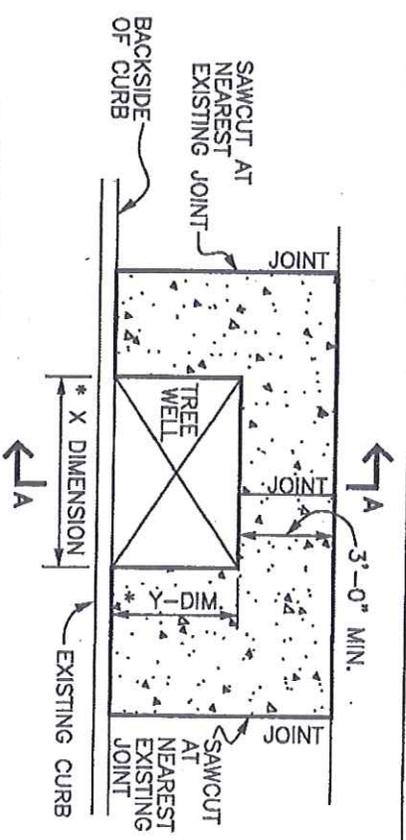
Plate **M-016**

1. ALL CONCRETE SHALL BE MD DEPT. OF TRANS. S.H.A. MIX NO. 3 CONCRETE WITH 5%-8% AIR AND 2"-5" SLUMP. DO NOT ADD WATER TO THE SURFACE FOR FINISHING.
2. THE TOP OF THE TREE ROOT BALL SHALL BE 4" BELOW PAVEMENT FINISH GRADE AND MULCHED AS SHOWN. REFER TO PLATE M-012 FOR ALL OTHER PLANTING INFORMATION AND TO PLATE M-013 FOR STAKING AND GUYING.
3. REINFORCED RUBBER HOSE & WIRE TO (3) 2"x2"x4" HARDWOOD STAKES.
4. IF ROOT BALL IS WRAPPED IN PLASTIC OR NON-BIODEGRADABLE MATERIAL, REMOVE ENTIRE WRAP. IF WRAPPED IN BURLAP, CUT OPEN AT LEAST 1/3 OF TOP.
5. 5" DEPTH - 3500 PSI CONCRETE SIDEWALK, 5%-8% AIR AND 2"-5" SLUMP.
6. 4" DEPTH - #57 AGGREGATE BASE
7. UNDISTURBED OR COMPACTED SOIL, SCARIFY TOP LAYER OF SUBGRADE.
8. FURNISHED TOPSOIL, FOOT TAMPED TO PREVENT SETTLEMENT AND ELIMINATE AIR POCKETS.
9. EXISTING SUBGRADE OR PREPARED SUBGRADE TO FORM A PEDESTAL. COMPACT TO PREVENT SETTLING.
- 10.

NOTES

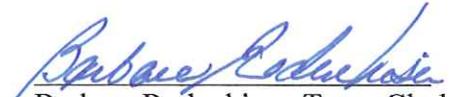
**SIDEWALK TREE WELL
PLAN VIEW**

* THE X AND Y DIMENSIONS SHALL MATCH THE PLANTER SIZE ON THE CITY STREET TREE LIST FOR THE TREE SPECIES TO BE PLANTED, REFER TO PLATES M-14.1, M-14.2, & M-14.3. THE X DIMENSION SHALL ALWAYS BE THE LONGEST DIMENSION.

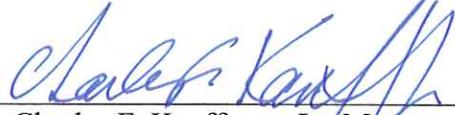


The effective date of this Ordinance shall be twenty (20) days from the adoption date.

ATTEST:


Barbara Rodenhiser, Town Clerk

THE MAYOR AND COUNCIL OF BOONSBORO:

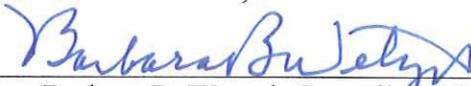
BY: 
Charles F. Kauffman, Jr., Mayor


Howard W. Long, Assistant Mayor


Richard E. Hawkins, Sr., Councilmember


Kevin M. Chambers, Councilmember

ABSENT
Natalie J. Mose, Councilmember


Barbara B. Wetzel, Councilmember


Cynthia J. Kauffman, Councilmember

Date of Introduction: July 6, 2009

Date of Passage: AUGUST 3 2009

Effective Date: AUGUST 24 2009